



Floyd County Zoning Ordinance Development Standards Guide

What Is Zoning?

Zoning is a restriction on the way land within its jurisdiction can be used. Through planning and development, zoning laws help local governmental agencies preserve property values and ensure communities are functional and safe places. In Floyd County, zoning is controlled by the *Floyd County Zoning Ordinance*, FCO-2006-06. The full text of the zoning ordinance can be viewed [here](#).

What Are Development Standards?

Development standards are the specific “rules” for each zoning district. Development standards range from minimum lot requirement to structure height and setbacks. Each zoning district has unique development standards.

Floyd County Zoning Districts

The planning jurisdiction is divided into the following zoning districts for general uses. Each of the zoning districts stand alone and are not part of a hierarchy-system of zoning. For example, permitted uses in AR district are not permitted in the RS district unless expressly listed as such in the RS district. Only those uses and development standards which are expressly permitted and noted for each district apply to that district. Below you can find the development standards for each zoning district.

Single Family Residential Districts

AR – Agricultural Residential ([Click Here for Development Standards](#))

RR – Residential Rural ([Click Here for Development Standards](#))

RS – Residential Suburban ([Click Here for Development Standards](#))

Multi-Family Residential Districts

RU – Residential Urban ([Click Here for Development Standards](#))

MF – Multi-Family Residential ([Click Here for Development Standards](#))

Commercial Districts

NC – Neighborhood Commercial ([Click Here for Development Standards](#))

GC – General Commercial ([Click Here for Development Standards](#))

HS – Highway Service ([Click Here for Development Standards](#))

Industrial Districts

OB- Office-Business ([Click Here for Development Standards](#))

GI- General Industrial ([Click Here for Development Standards](#))

Other Districts

PR- Park-Recreation ([Click Here for Development Standards](#))



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Department of Building & Development Services**

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Overlay Districts

Overlay Districts establish additional development standards that respond to unique characteristics in that area. Below are the three Overlay Districts within Floyd County:

HP – Highlander Point/US 150 Gateway Overlay District

ED – Edwardsville Gateway Overlay District

SD – Steep Slope Overlay District

For more information on each overlay district in Floyd County, please refer to sections 8.01-8.06 of the [Floyd County Zoning Ordinance](#).

Development Plan

A development plan is required if a development is proposed in the following districts:

- Highlander Point Gateway District (HP)
- Edwardsville Gateway District (ED)
- Residential Urban (RU) including condominium as defined under Indiana Code (Amended 1)
- Multi-Family (MF)
- Neighborhood Commercial (NC)
- General Commercial (GC)
- Highway Service (HS)
- Office-Business (OB)
- General Industrial (GI)

For a complete breakdown of the Development Plan Review process, see section 9.01 of the Floyd County Zoning Ordinance. To start the development plan process, please contact Don Lopp (dlopp@floydcounty.in.gov) or Justin Tackett (jtackett@floydcounty.in.gov).

Permitted Uses

Specific land uses are either permitted, non-permitted, or conditional use in each zoning District. Floyd County's permitted uses for each district are noted in the Permitted and Conditional Use column and in the land use matrix section. Permitted uses for each zoning district can be found [here](#).

You can view the full Floyd County Indiana Zoning Ordinance [here](#).

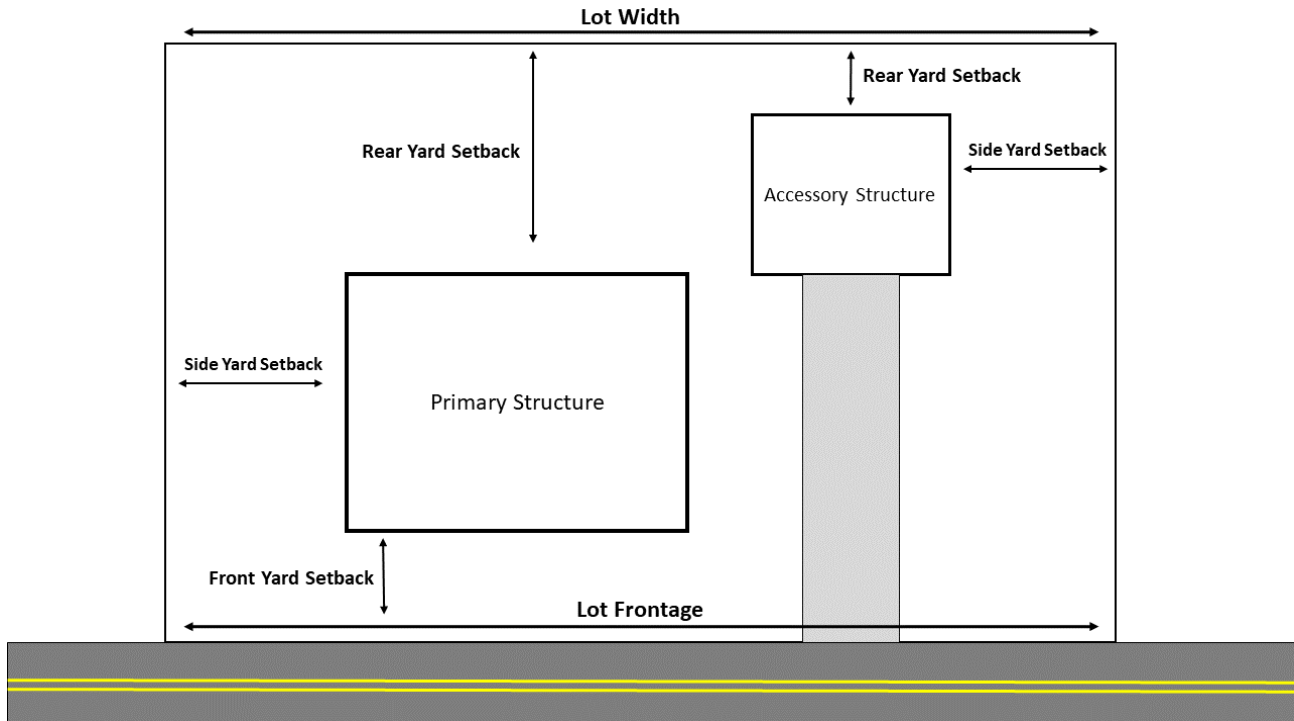
How to Find My Zoning District

- Online on our [Elevate GIS Portal](#)
- By Email at building@floydcounty.in.gov
- By Phone at 812-981-7611

What if my proposed project does not meet the established development standards?

Please contact the Building and Development Services Office at 812-981-7611 or email Justin Tackett at jtackett@floydcounty.in.gov.

Agricultural/Residential District (AR) Development Standards

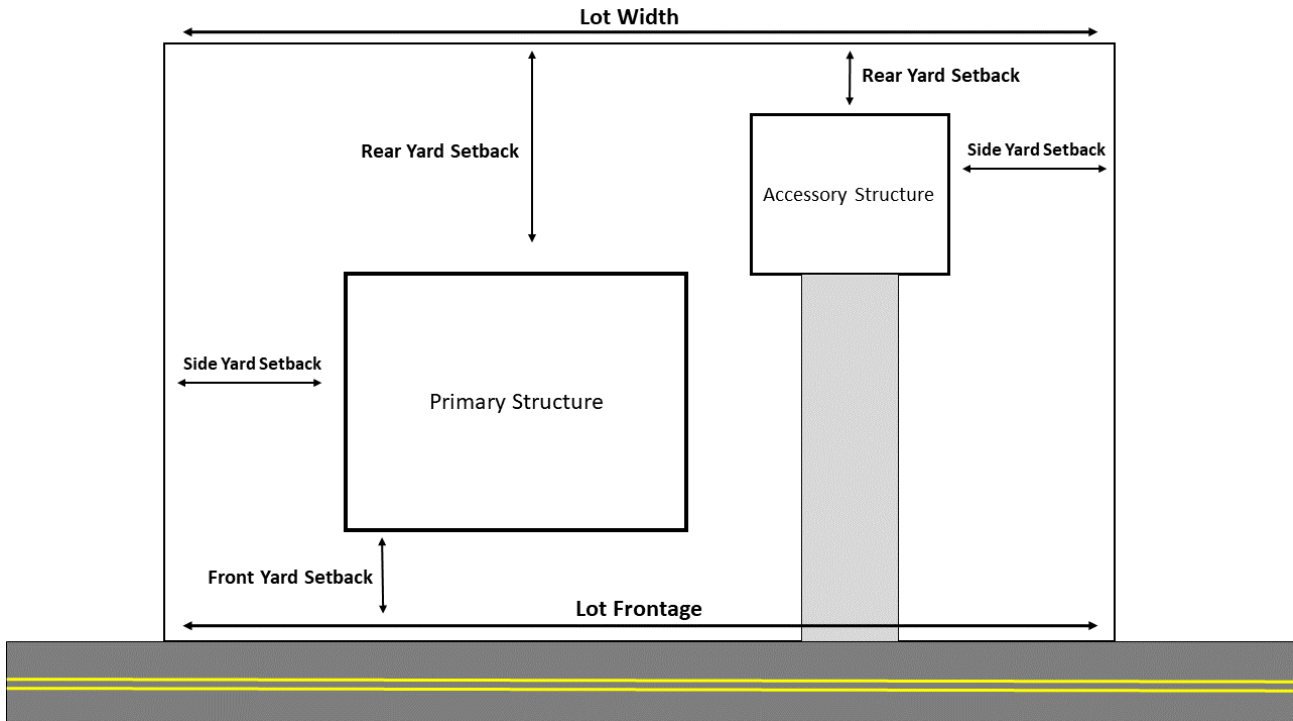


District Intent: The **Agricultural-Residential (AR)** district is intended to provide a land use category for primarily agricultural and agricultural-oriented uses. The provisions that regulate this land use should promote, protect and maintain areas for agricultural uses. The provisions should also promote, protect and maintain environmentally sensitive areas and natural resources. Residential development should be developed to assimilate and be compatible with agricultural operations and surrounding natural resources.

Floyd County’s Plan Commission and Board of Zoning Appeals should strive to protect agricultural uses from conflicting land uses, non-agricultural commercial uses and any use that may cause significant impact to the environment. The Plan Commission and the Board of Zoning Appeals should strive to promote an average density of 1 dwelling units per 2 acres.

Type of Standard	Development Standards
Minimum Lot Area	87,120 Square Feet (2 Acres)
Minimum Lot Width	100 Feet
Minimum Lot Frontage	100 Feet
Primary Structure Maximum Height Restriction	35 Feet
Accessory Structure Maximum Height Restriction	18 Feet
Water	Requires connection to public water
Sanitary Sewer	May use either septic or sanitary sewer system
Primary and Accessory Structure Front Yard Setback	60 Feet (Amended 8)
Primary and Accessory Structure Side Yard Setback	10 Feet
Primary Structure Rear Yard Setback	20 Feet
Accessory Structure Rear Yard Setback	10 Feet
Maximum Primary Structure(s) per Lot	1
37 Minimum Ground Floor Area	950 square feet (Amended 5)
Maximum Lot Coverage Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	35 percent
For additional development standards see sections 4.10, 5.02-5.43 of FCO-2006-06	

Rural Residential District (RR) Development Standards

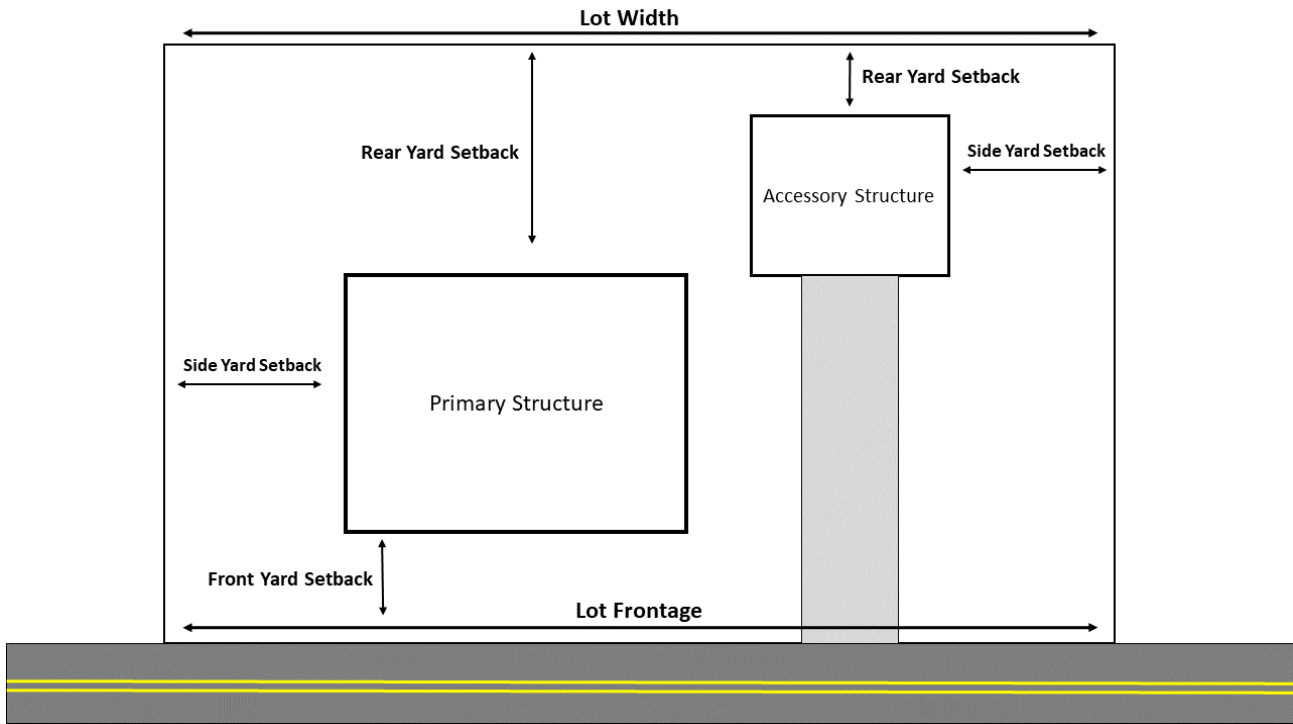


District Intent: The **Rural Residential (RR)** district is intended to provide an additional residential land use category for areas with both residential and agricultural areas. The provisions that regulate this land use should allow for residential uses that are compatible with agricultural operations and natural resources.

Floyd County's Plan Commission and Board of Zoning Appeals should strive to establish this zone as a transitional district between agricultural/residential and higher density residential, commercial and industrial districts. The Plan Commission and the Board of Zoning Appeals should strive to promote an average density of 1.0 dwelling units per .85 acres.

Type of Standard	Development Standards
Minimum Lot Area	37,000 Square Feet
Minimum Lot Width	100 Feet
Minimum Lot Frontage	100 Feet
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Requires connection to public water
Sanitary Sewer	May use either septic or sanitary sewer system
Primary and Accessory Structure Front Yard Setback	60 Feet – Arterial, Collector or Local Street 40 Feet – Subdivision Street
Primary and Accessory Structure Side Yard(s) Setback	10 Feet each side
Primary Structure Rear Yard Setback	20 Feet
Accessory Structure Rear Yard Setback	10 Feet
Maximum Primary Structure(s) per Lot	1
Minimum Ground Floor Area	950 Square feet (Amended 5)
Maximum Lot Coverage Square footage of all primary structures, accessory structures shall not exceed:	35 Percent
For additional development standards see sections 4.15, 5.02-5.43 of FCO-2006-06	

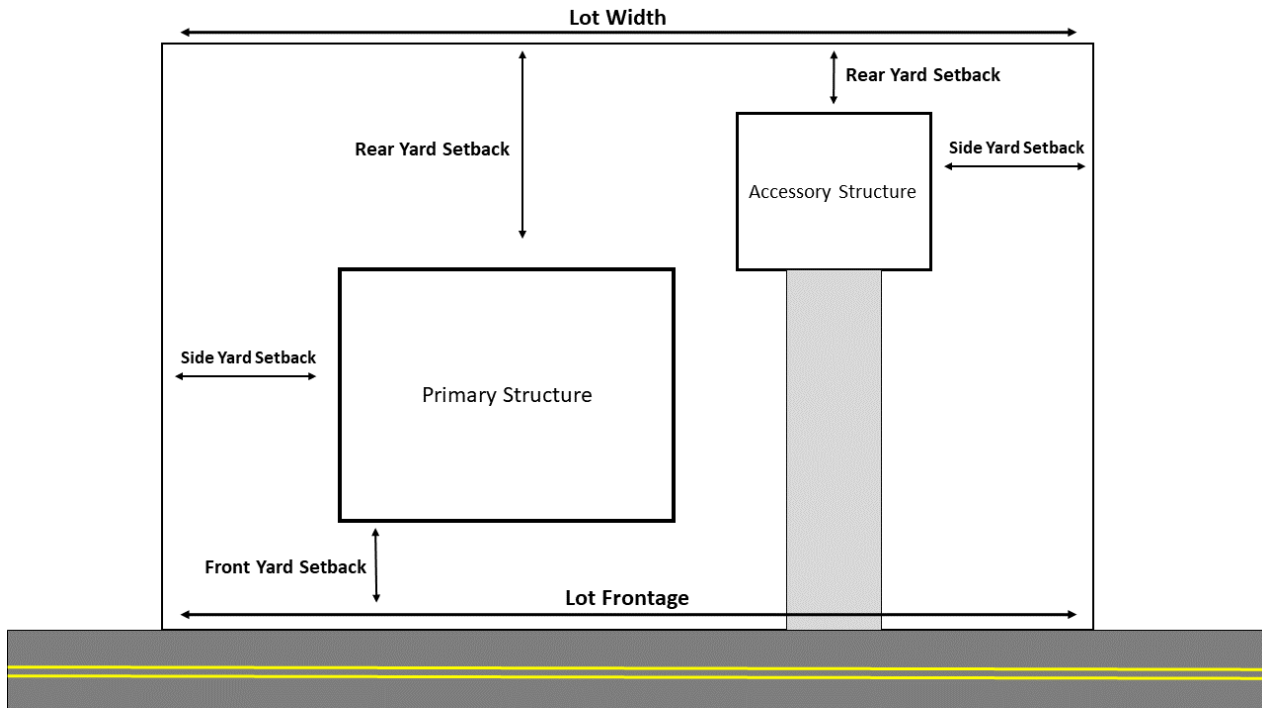
Residential Suburban (RS) Development Standards



District Intent: The **Residential Suburban (RS)** district is intended to provide for the development of medium size single family detached homes on medium sized lots. The provisions that regulate this land use district should provide for the development of medium density residential neighborhood. Floyd County Plan Commission and Board of Zoning Appeals should strive to integrate this type of neighborhood with higher density developments and neighborhood-serving commercial facilities. This district should be protected from conflicting land uses and may be located in proximity to rural residential (RR) district in a way that does not interfere with agricultural practices. The Plan Commission and the Board of Zoning Appeals should strive to promote an average net density of 3.0 dwelling units per acre community wide.

Type of Standard	Development Standards
Minimum Lot Area	12,000 Square Feet
Minimum Lot Width (See 5.02 for additional standards)	80 Feet – Subdivision Street
Minimum Lot Frontage (See 5.02 for additional standards)	80 Feet - Subdivision Street
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Requires connection to public water
Sanitary Sewer	May require connection to sanitary sewer system (Amended 1) See 5.02 F
Primary Structure Front Yard Setback	60 Feet – Arterial, Collector, Local Roads 20 Feet – Subdivision Street (Amended 10)
Primary and Accessory Structure Side Yard Setback	8 Feet
Primary Structure Rear Yard Setback	20 Feet
Accessory Structure Rear Yard Setback	10 Feet
Maximum Primary Structure(s) per Lot	1
Minimum Ground Floor Area	950 Square feet (Amended 5)
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	50 Percent
For additional development standards see sections 4.20, 5.02-5.43 of FCO-2006-06	

Residential Urban District (RU) Development Standards



District Intent: The **Residential Urban (RU)** district is intended to provide for the development of medium single family and attached two or multi- family homes on small lots. The provisions that regulate this land use district should provide for the development of high density residential neighborhoods. Floyd County Plan Commission and Board of Zoning Appeals should strive to integrate this type of neighborhood with medium and higher density developments and neighborhood-serving commercial facilities. This district should be protected from conflicting land uses and be located in proximity to Residential Suburban (RS) district. The Plan Commission and the Board of Zoning Appeals should strive to promote an average net density of 6.0 dwelling units per acre community wide.

Note: A development plan is required in this zoning district. Please refer to section 9.01 of the Floyd County Zoning Ordinance for further information. You can view the Floyd County Zoning Ordinance [here](#).

Type of Standard	Development Standards
Minimum Lot Area	6,000 Square Feet – Single Family 12,000 Square Feet – Two-Family
Minimum Lot Width (See 5.02 for additional standards)	50 Feet – (Single Family) Subdivision Street 80 Feet – (Two-Family) Subdivision Street
Minimum Lot Frontage (See 5.02 for additional standards)	50 Feet – (Single Family) Subdivision Street 80 Feet – (Two-Family) Subdivision Street
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Required connection to public water
Sanitary Sewer	Required connection to sanitary sewer system
Primary Structure Front Yard Setback	35 Feet – Arterial, Collector or Local Street 20 Feet – Subdivision Street (Amended 10)
Primary and Accessory Structure Side Yard Setback	10 feet one side– Single Family; 10 Feet each side – Two-Family
Primary and Accessory Structure Rear Yard Setback	10 Feet
Maximum Primary Structure(s) per Lot	1
Minimum Ground Floor Area	950 Square feet (Amended 5)
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	65 Percent
For additional development standards see sections 4.25, 5.02-5.43 of FCO-2006-06	

Multi-Family District (MF) Development Standards

District Intent: The **Multi-Family Residential (MF)** District is intended to provide for multi-family residential developments. The provisions that regulate this land use should promote the adequate provision for open space, living areas, and vehicle parking.

Floyd County Plan Commission and Board of Zoning Appeals should strive to integrate this district with Residential Urban (RU) type developments and neighborhood-serving commercial facilities. It should be located in areas that have adequate infrastructure and public services to provide for the development needs. This district should be protected from conflicting land uses. The Plan Commission and the Board of Zoning Appeals should strive to promote a density of 8.0 dwelling units per acre community wide.

Note: A development plan is required in this zoning district. Please refer to section 9.01 of the Floyd County Zoning Ordinance for further information. You can view the Floyd County Zoning Ordinance [here](#).

Type of Standard	Development Standards
Minimum Lot Area	30,000 Square Feet
Minimum Lot Area per Unit	5,445 Square Feet
Maximum Lot Area per Unit	8,000 Square Feet
Minimum Lot Frontage	100 Feet
Minimum Lot Width	100 Feet
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Required connection to public water
Sanitary Sewer	Required connection to sanitary system
Primary Structure Front Yard Setback	60 Feet – Arterial, Collector or Local Street 40 Feet – Subdivision Street
Primary and Accessory Structure Side Yard Setback	20 Feet
Primary and Accessory Structure Rear Yard Setback	25 Feet
Maximum Primary Structure(s) per Lot	n/a (Amended 1)
Minimum Living Area per unit	800 Square Feet
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	65 Percent
For additional development standards see sections 4.30, 5.02-5.43 of FCO-2006-06	

Neighborhood Commercial (NC) Development Standards

District Intent: The **Neighborhood Commercial (NC)** district is intended to provide a land use category for small scale commercial uses that provide products and services to local neighborhoods. The provisions that regulate this land use should promote appropriate commercial uses that are clearly non-conflicting with the residential areas of Floyd County.

Floyd County’s Plan Commission and Board of Zoning Appeals should strive to use this district selectively, in areas where small scale commercial centers are appropriate to service neighborhood commercial needs. The Plan Commission and Board of Zoning Appeals should also strive to exclude businesses from Neighborhood Commercial (NC) district that have an adverse effect on existing or future adjacent neighborhoods. Retail Small Scale uses are defined as having 5,000 square feet of floor space or less.

Note: A development plan is required in this zoning district. Please refer to section 9.01 of the Floyd County Zoning Ordinance for further information. You can view the Floyd County Zoning Ordinance [here](#).

Type of Standard	Development Standards
Minimum Lot Area	22,000 Square Feet
Minimum Lot Width	150 Feet
Minimum Lot Frontage	150 Feet
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Require connection to public water
Sanitary Sewer	Require connection to sanitary sewer system
Primary Structure Front Yard Setback	30 Feet
Primary and Accessory Structure Side Yard Setback	20 Feet
Primary and Accessory Structure Rear Yard Setback	25 Feet
Maximum Primary Structure(s) per Lot	1
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	70 percent
For additional development standards see sections 4.39, 5.02-5.43 of FCO-2006-06	

General Commercial District (GC) Development Standards

District Intent: The **General Commercial (GC)** district is intended to provide a land use category for most general business uses. The provision that regulate this land use district should not overly restrict normal business practices. This district can be used adjacent to all other commercial and industrial districts. It can also be used adjacent to the multi-family residential districts. Buffer yards should be fully implemented.

Floyd County’s Plan Commission and Board of Zoning Appeals should strive to use this district to encourage strong and stable area for general commerce. The Plan Commission and Board of Zoning Appeals should encourage development in clusters which share resources and minimize the cost of public utilities and services. The Plan Commission and Board of Zoning Appeals should also strive to minimize lighting, parking lots, fronting the major streets, and traffic conflicts in the General Commercial (GC) district.

Note: A development plan is required in this zoning district. Please refer to section 9.01 of the Floyd County Zoning Ordinance for further information. You can view the Floyd County Zoning Ordinance [here](#).

Type of Standard	Development Standards
Minimum Lot Area	43,560 Square feet (1 acre)
Minimum Lot Width	200 Feet
Minimum Lot Frontage	200 Feet
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Required connection to public water
Sanitary Sewer	Required connection to sanitary sewer system
Primary Structure Front Yard Setback	40 Feet
Primary and Accessory Structure Side Yard Setback	20 Feet
Primary and Accessory Structure Rear Yard Setback	30 Feet
Maximum Primary Structure(s) per Lot	1
Minimum Main Floor Area	2000 Square Feet (Amended 1)
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	70 Percent
For additional development standards see sections 4.45, 5.02-5.43 of FCO-2006-06	

Highway Service District (HS) Development Standards

District Intent: The **Highway Service (HS)** district is intended to provide a land use category for commercial uses that are appropriate for location along highways. The provisions that regulate this land use district should make the district compatible with adjacent agriculture and residential districts. The district should be used at areas near major state highways and at Interstate interchanges.

Floyd County’s Plan Commission and Board of Zoning Appeals should strive to provide for highway oriented businesses and services, while minimizing light pollution, large parking lots along major roadways, hazardous traffic patterns, traffic conflicts, and excessive signs in the Highway Service (HS) district. The use of access roads/frontage roads should be required for all commercial uses in this district. Further, road cuts onto arterial or collector roads should be restricted.

Note: A development plan is required in this zoning district. Please refer to section 9.01 of the Floyd County Zoning Ordinance for further information. You can view the Floyd County Zoning Ordinance [here](#).

Type of Standard	Development Standards
Minimum Lot Area	30,000 Square Feet
Minimum Lot Width	150 Feet
Minimum Lot Frontage	150 Feet
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Required connection to public water
Sanitary Sewer	Required connection to sanitary sewer system
Primary Structure Front Yard Setback	40 Feet
Primary and Accessory Structure Side Yard Setback	20 Feet
Primary and Accessory Structure Rear Yard Setback	30 Feet
Maximum Primary Structure(s) per Lot	1
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	70 Percent
For additional development standards see sections 4.50, 5.02-5.43 of FCO-2006-06	

Office Business District (OB) Development Standards

District Intent: The **Office-Business (OB)** district is intended to provide a land use category for assembly, research and development operations, warehousing, and other light industrial operations. The provisions that regulate this land use district should make the district compatible with the General Commercial (GC), Highway Service (HS) and Agricultural-Residential (AR) districts. This district should be used in combination with the Highway Service (HS) district in areas with convenient access to major transportation routes.

Floyd County’s Plan Commission and Board of Zoning Appeals should strive to provide for light industrial operations while minimizing light pollution, large parking lots along major roadways, hazardous traffic patterns and traffic conflicts in the Office-Business (OB) district.

Note: A development plan is required in this zoning district. Please refer to section 9.01 of the Floyd County Zoning Ordinance for further information. You can view the Floyd County Zoning Ordinance [here](#).

Type of Standard	Development Standards
Minimum Lot Area	43,560 Square Feet
Minimum Lot Width	150 Feet
Minimum Lot Frontage	150 Feet
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Required connection to public water
Sanitary Sewer	Required connection to municipal sanitary sewer system
Primary Structure Front Yard Setback	40 Feet
Primary and Accessory Structure Side Yard Setback	25 Feet
Primary and Accessory Structure Rear Yard Setback	30 Feet
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	75 Percent
For additional development standards see sections 4.55, 5.02-5.43 of FCO-2006-06	

General Industrial (GI) Development Standards

District Intent: The **General Industrial (GI)** district is intended to provide a land use category for a medium intensity industrial operations and uses. The provisions that regulate this land use district should make the district compatible with the General Commercial (GC), Highway Service (HS) and Office-Business (OB) districts. This district should be used in combination with the (OB) district in areas with convenient access to major transportation routes.

Floyd County’s Plan Commission and Board of Zoning Appeals should strive to provide for industrial operations while minimizing light pollution, large parking lots along major roadways, hazardous traffic patterns and traffic conflicts in the General Industrial (GI) district. Buffering between existing lower intensity uses such as residential and agricultural uses must be appropriate to mitigate effect industrial use will have on these land uses.

Note: A development plan is required in this zoning district. Please refer to section 9.01 of the Floyd County Zoning Ordinance for further information. You can view the Floyd County Zoning Ordinance [here](#).

Type of Standard	Development Standards
Minimum Lot Area	3 Acres
Minimum Lot Width	250 Feet
Minimum Lot Frontage	250 Feet
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	18 Feet
Water	Required connection to public water
Sanitary Sewer	Required connection to municipal sanitary sewer system
Primary Structure Front Yard Setback	50 Feet
Primary and Accessory Structure Side Yard Setback	40 Feet
Primary and Accessory Structure Rear Yard Setback	40 Feet
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	75 Percent
For additional development standards see sections 4.60, 5.02-5.43 of FCO-2006-06	

Park-Recreation (PR) Development Standards

District Intent: The **Park and Recreation (PR)** district is intended to provide for the development of active and passive recreation opportunities within Floyd County. This district incorporates both active recreation facilities and passive or open space. The district should be integrated with the residential districts, school facilities, and natural features/resources. Floyd County’s Plan Commission and Board of Zoning Appeals should strive to promote connectivity of these areas to potentially form a community-wide system, proximity to residential neighborhoods, and incorporate natural features of the county.

Type of Standard	Development Standards
Minimum Lot Area	5 Acres
Minimum Lot Width	100 Feet
Minimum Lot Frontage	100 Feet
Primary Maximum Structure Height	35 Feet
Accessory Maximum Structure Height	25 Feet
Water	Required connection to public water
Sanitary Sewer	May use either septic or sanitary sewer system
Primary Structure Front Yard Setback	50 Feet
Primary and Accessory Structure Side Yard Setback	50 Feet
Primary and Accessory Structure Rear Yard Setback	50 Feet
Maximum Lot Coverage (Square footage of all primary structures, accessory structures and impervious surface shall not exceed:)	25 Percent
For additional development standards see sections 4.55, 5.02-5.43 of FCO-2006-06	

Appendix A

Floyd County Land Use Matrix

P=Permitted

C= Conditional Use

Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Agricultural Uses											
Agriculture, Home	P	P	P	P	P	P	P	P	P	P	P
Agriculture, Primary (Amended 13)	P	P	C	C	C						
Agricultural, Service	C	C									
Commercial Greenhouse (Amended 13)	C					C	P	P	P	P	
Commercial Kennel	C	C									
Confined Feed Operations	C										
Farm Stand	P	P	P	P	P	P	P	P	P	P	P
Farmer's Market (Amended 13)	C	C	C	C	C	P	P	P	P	P	
Mineral Extraction	C										
Retail Nursery (Amended 1, 6, 13)	C	C				P	P	P	P	P	
Wholesale Nursery (Amended 6)	C	C							P	P	
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Residential Uses											
Assisted Living Facility					C	P	P	P	P		
Bed and Breakfast/Tourist Home (Amended 13)	C	C	C	C	C						
Boarding House	C										
Child-Care Facility (Owner Occupied)	P	P	P	P	P	P	P	P	P	P	
Child Care Institution					C		C				
Dwelling, Manufactured Home	P	P	P								
Dwelling, Multi-Family					P						
Dwelling, Single Family Attached				P	C						
Dwelling, Single Family Detached (Amended 6)	P	P	P	P							
Dwelling, Townhouse				P	P						
Dwelling, Two-Family				P	P						
Residential Facility for the developmentally disabled (A)	C	C	C	C	C						
Residential Facility for the developmentally disabled (B)	P	P	P	P	P						

Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Commercial: Adult-Oriented Businesses											
Adult Cabaret										P	
Adult Media Store										P	
Adult Novelty Store										P	
Adult Motion Picture Theater										P	
Adult Theater										P	
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Commercial: Auto Sales and Services											
Automotive Repair and Services (Amended 6)						P	P	P	P	P	
Automotive Sales and Services (New and Used) (Amended 6)						C	P	P	P		
Automobile, Car Wash Automatic/Self						P	P	P	P		
Hotel/Motel Lodging (Amended 13)						C	P	P			
Hotel/Motel Lodging Less than 150 feet from Residential Zoning District						C	C	C			
Indoor Automotive Sales and Services (Amended 6)							P	P	P		
Oil Change Facility						P	P	P	P		
Travel Center (Amended 1)								C			
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Commercial: Food Sales/Services											
Bakery, Retail (Amended 6)						P	P	P			
Convenience Store with Gas Pumps (Amended 1)						C	C	C			
Delicatessen (Amended 6)						P	P	P			
Grocery						P	P	P			
Ice Cream Shop (Amended 6)						P	P	P			
Restaurant, Drive-Thru						C	P	P			
Restaurant, Outdoor more than 150 feet from Residential Districts						P	P	P			
Restaurant, Outdoor less than 150 feet from Residential Districts						C	C	C			
Restaurant, Full Service						P	P	P	P		

Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Commercial: Personal Services											
Barber/Beauty Shop						P	P	P			
Child Care Center (Day Care) Amended 13						P	P	P			
Dry Cleaners						P	P	P			
Health/Fitness Center						P	P	P	C		
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Health/Spa Treatment (Non-Adult Business)						P	P	P			
Laundry Services (Amended 6)						P	P	P			
Pharmacy						P	P	P			
Shoe Repair (Amended 6)						P	P	P			
Tailor/Dressmaker/Alterations Shop (Amended 6)						P	P	P			
Tanning Salon						P	P	P			
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Commercial: Professional/Office Uses (amended 4)											
Accounting /Tax Services						P	P	P	P		
Advertising Services						P	P	P	P		
Ambulatory Care Facility							P	P			
Architectural/						P	P	P	P		
Engineering Services											
Attorney/Legal Services						P	P	P	P		
Banks/Credit Unions						P	P	P	P		
Computer System Design and Services						P	P	P	P		
Dentist Office						P	P	P	P		
Employment Services (Amended 6)						P	P	P	P		
Educational Support Services						P	P	P	P		
Health Care Practitioners Office						P	P	P	P		
Insurance Agency Office						P	P	P	P		
Investment Firms Office						P	P	P	P		
Photography Studio						P	P	P	P		
Physicians Office						P	P	P	P		
Professional Consulting Services Office						P	P	P	P		
Real Estate Office						P	P	P	P		
Service Organization Office						P	P	P	P		
Travel Agency						P	P	P	P		

Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Commercial: Retail Small Scale Uses (Amended 6)											
Antique Shop						P	P	P			
Apparel Shop						P	P	P			
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Art and Craft Shop						P	P	P			
Consignment Shop						P	P	P			
Department Store						P	P	P			
Electronic and Home Appliance Store						P	P	P			
Fabric Store						P	P	P			
Floor Coverings						P	P	P			
Florist/Flower Shop						P	P	P			
Furniture Store						P	P	P			
Garden Shop						P	P	P			
Gift Store						P	P	P			
Grocery						C	P	P			
Hardware Store						P	P	P			
Hobby Store						P	P	P			
Jewelry Store						P	P	P			
Media Store (Non-Adult)						P	P	P			
Office Supplies Store						P	P	P			
Paint Store						P	P	P			
Pet Store						P	P	P			
Photography Studio						P	P	P			
Print/Mail Shop						P	P	P			
Shoe Store						P	P	P			
Sporting Goods Store						P	P	P			

Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Commercial: Large Scale Uses (Amended 13)											
Auction House							C	C			
Department Store							C	C			
Electronic and Home Appliance Store							C	C			
Fabric Store							C	C			
Floor Coverings							C	C			
Furniture Store							C	C			
Funeral Home or Mortuary							C	C			
Garden Shop							C	C			
Hardware Store							C	C			
Hobby Store							C	C			
Home Furnishing Store							C	C			
Jewelry Store							C	C			
Music Store							C	C			
Office Supplies Store							C	C			
Paint Store							C	C			
Pet Store							C	C			
Print/Mail Shop							C	C			
Shoe Store							C	C			
Sporting Goods Store							C	C			
Commercial: Recreational Uses											
Banquet Hall (Amended 4)						P	P	P	P		
Bar/Tavern						P	P	P	P		
Billiard/Arcade Room (Amended 1) (Amended 6)						P	P	P	P		
Bowling Alley (Amended 1) (Amended 6)						P	P	P	P		
Dance/Aerobic/ Gymnastics Studio (Amended 6)						P	P	P	P		
Golf Course/Driving Range	C	C				P	P	P	P		C
Indoor Theater (Amended)						P	P	P	P		
Martial Arts Studio						P	P	P	P		
Miniature Golf						P	P	P	P		
Lodge or Private Club (Amended 6)	C	C	C	C	C	P	P	P	P	C	C
Skating Rink						P	P	P	P		

Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Industrial: General Uses											
Boats, Motorcycles, Recreational Vehicles Sales and Services (Amended 13)							P	P		P	
Bottled Gas Storage/Distribution										C	
Clay Building Material and Refractory Manufacturing										P	
Computer and Electronic Products									P	P	
Furniture and Related Products										P	
Junk Yard										C	
Medical and Diagnostic Laboratories									P	P	
Medical Equipment and Supplies									P	P	
Mini-Storage Facilities (Amended 4)								C	P	P	
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Sanitary Landfill (Private or Publicly Owned)										C	
Scientific Research and Development Services (Amended 13)							C		P	P	
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Specialty Trade Office/Workshop (Amended 4)	C	C							P	P	
Trade Shop (Amended 4)									P	P	
Warehousing and Storage (Amended 4)									P	P	
Wood Products Mfg.	C									P	

Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Institutional-Public Uses (Amended 6)											
Cemetery	C	C	C	C	C	P	P	P	P	P	C
Church or House of Worship	C	C	C	C	C	P	P	P	P	P	C
Government Office/ Building	C	C	C	C	C	P	P	P	P	P	C
Hospital	C	C	C	C	C	P	P	P	P	P	C
Library	C	C	C	C	C	P	P	P	P	P	C
Museum	C	C	C	C	C	P	P	P	P	P	C
Police/Fire Station	C	C	C	C	C	P	P	P	P	P	C
Post Office	C	C	C	C	C	P	P	P	P	P	C
School, Public/Private	C	C	C	C	C	P	P	P	P	P	C
School, University/College	C	C	C	C	C	P	P	P	P	P	C
Trade or Business School	C	C	C	C	C	P	P	P	P	P	C
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Recreational Uses											
Athletic Fields/Courts (Amended 2)	C	C	C	C	C	C	C	C	C	C	P
Campground (Public)											C
Community-Recreational Center (Amended 6, 13)	C	C	C	C	C	C	C	C	C	C	P
Community Swimming Facility (Amended 6, 13)	C	C	C	C	C	C	C	C	C	C	P
Shelter House											P
Trails, Walking/Biking	P	P	P	P	P	P	P	P	P	P	P
Land Use	AR	RR	RS	RU	MF	NC	GC	HS	OB	GI	PR
Utilities:											
Public Well/Pumping Station	C	C	C	C	C	C	C	C	C	C	C
Sanitary Sewage Treatment Plant			C							C	
Telecommunication Facilities	C	C	C	C	C	C	C	C	C	C	C
Utility Substation	C	C	C	C	C	C	C	C	C	C	C